

CITY OF WESTMINSTER			
PLANNING APPLICATIONS SUB COMMITTEE	Date 26 October 2021	Classification For General Release	
Report of Director of Place Shaping and Town Planning		Ward(s) involved Marylebone High Street	
Subject of Report	15 Wimpole Street, London, W1G 9SU		
Proposal	Reinstatement of stairs and stone floor landings on ground and first floor and installation of a lift in the stairwell.		
Agent	Map Projects Ltd		
On behalf of	Partners FC Inc		
Registered Number	21/02967/LBC	Date amended/ completed	6 May 2021
Date Application Received	6 May 2021		
Historic Building Grade	Grade II listed building		
Conservation Area	Harley Street		

1. RECOMMENDATION

1. Grant conditional listed building consent.

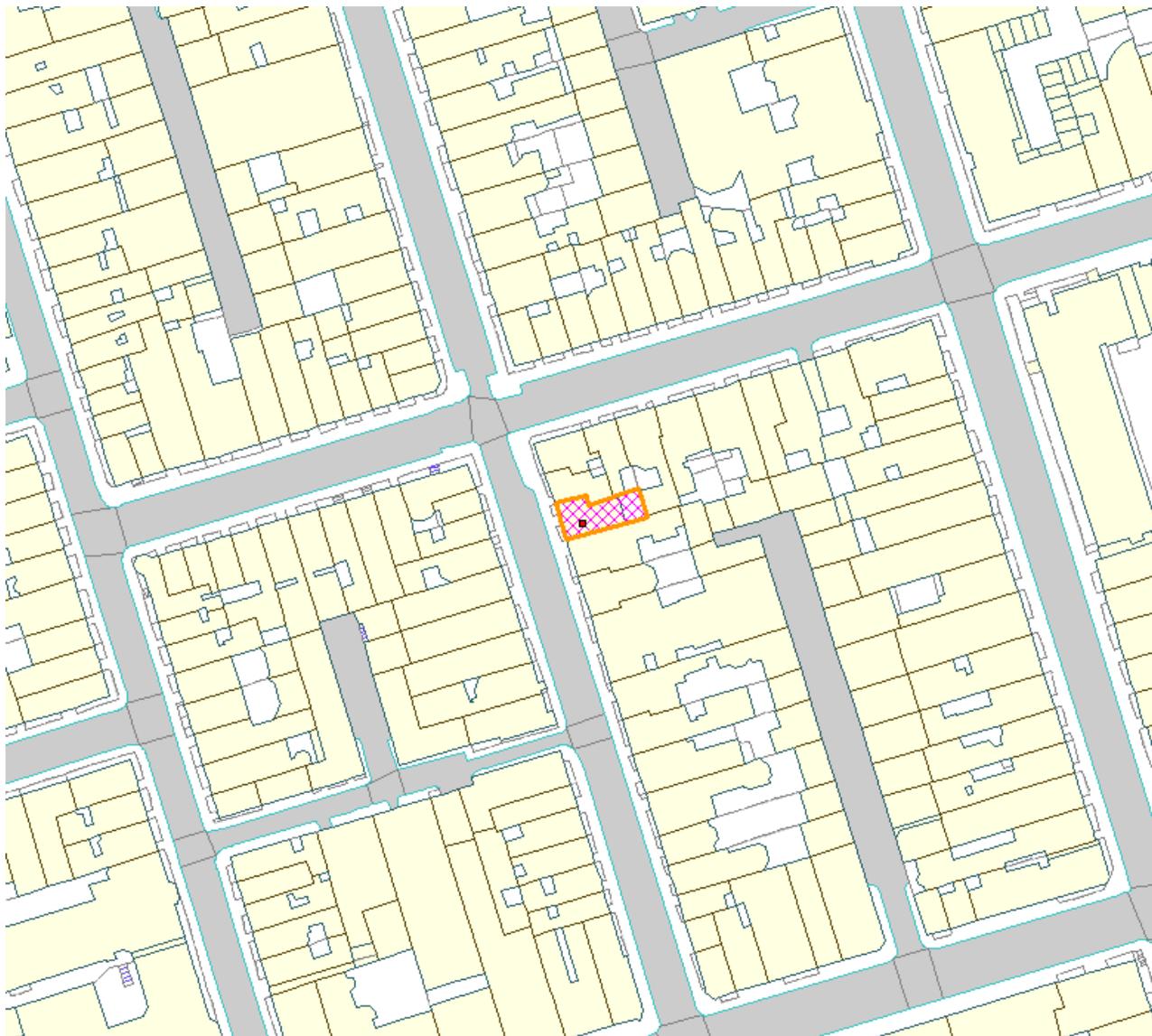
2. SUMMARY

The application relates to a Grade II listed mid-18th century terraced house within the Harley Street Conservation Area. The building is a significant example of the period and, whilst altered, retains significant elements of architectural and historic interest both inside and out, in particular relating to this application, the front entrance hall and stone staircase.

The application seeks a temporary and/or personal listed building consent to install a new lift into the stairwell, and to permanently reinstate the historic construction and layout of the staircase at ground and second floors along with a new stone floor covering to the ground floor entrance hall.

The current application follows two previous refused applications for similar or identical proposals, but has now been re-submitted with additional information and detailing, along with further legal advice on Equalities relating to the disability of one of the occupiers of the dwelling. The information submitted is considered to adequately answer all of the questions which remained with the last application which was refused by Committee in January 2021, such that the overall impact to the significance of the listed building can be considered to be neutral or only very slightly harmful, and is therefore recommended for conditional approval.

3. LOCATION PLAN

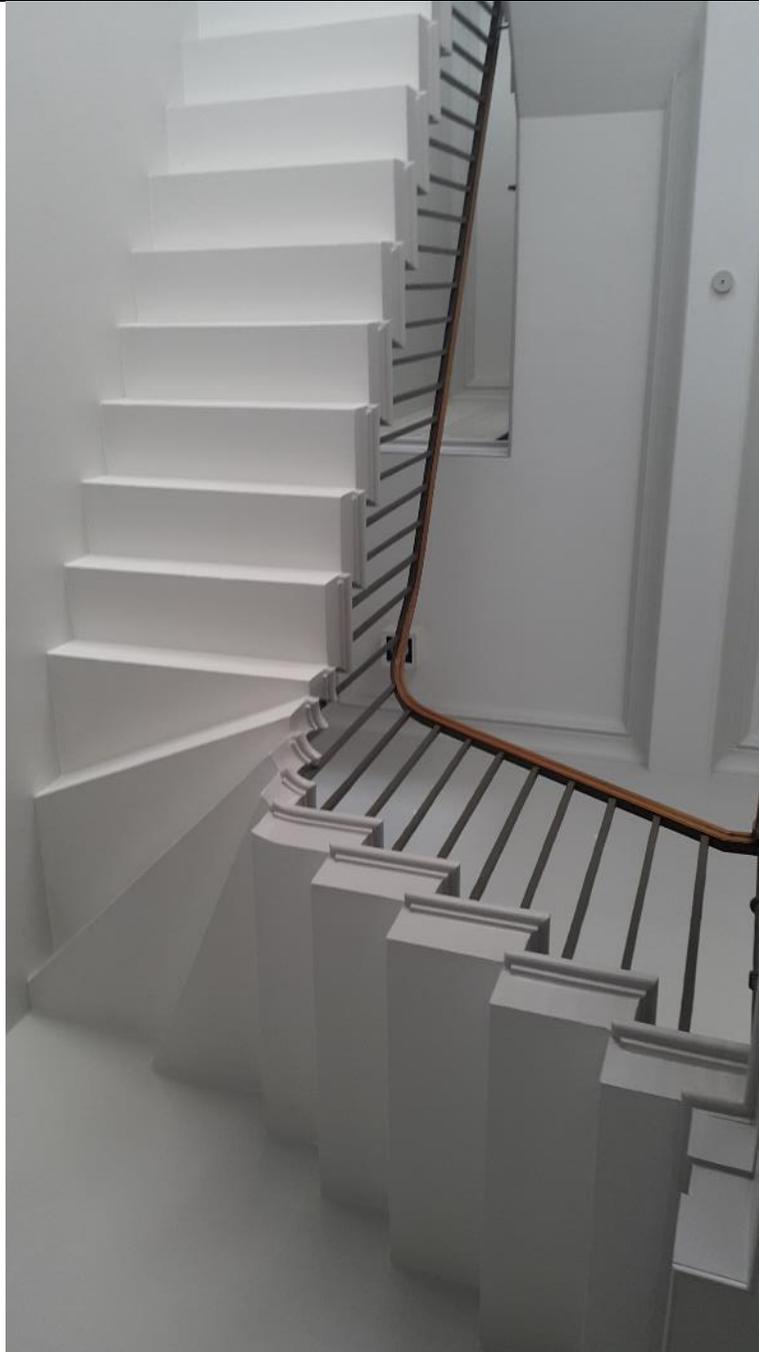


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4. PHOTOGRAPHS



Photograph 1 – view from first floor landing of the ground floor base of the staircase, showing also the existing (modern) stub stair flight down to the lower ground floor that would be removed.



Photograph 2: View from ground floor up the stairwell, through which the lift shaft would rise. This shows the distinctive underside of the cantilevered stone staircase, and the modern built-out section of landing at second floor, which is proposed to be removed and opened back to the beam downstand line visible to the right, to reinstate the full height of the stairwell.



Photograph 3 – First floor landing, with flight down to ground floor to left, and flight up to the second floor to the right and top.

5. CONSULTATIONS

THE GEORGIAN GROUP:

- Any response to be reported verbally.

THE VICTORIAN SOCIETY:

- Any response to be reported verbally.

SOCIETY FOR THE PROTECTION OF ANCIENT BUILDINGS:

- Any response to be reported verbally.

TWENTIETH CENTURY SOCIETY:

- Any response to be reported verbally.

HISTORIC BUILDINGS AND PLACES:

- Any response to be reported verbally.

COUNCIL FOR BRITISH ARCHAEOLOGY:

- Any response to be reported verbally.

6. BACKGROUND INFORMATION

6.1 The Application Site

No. 15 Wimpole Street is a grade 2 listed building in the Harley Street Conservation Area. It is a relatively rare house, dating from the 1760's, a period of relatively low rate of development. The unusual 'L' shaped plan form of the interior is of significance, especially at ground and first floor levels. There are significant elements of original historic fabric internally too which are important, including the stone staircase.

6.2 Recent Relevant History

On 11 September 2020 listed building consent was refused for the installation of a lift from lower ground floor to second floor and alterations to stairs. The reason for refusal was:

Because of location, detailed design the lift and associated works would harm the planform, fabric and special interest of this grade II listed building. This would be against the advice set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007 and the advice set out in paragraph 2.4 of our 'Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings'.

An informative was added to the decision letter:

The applicant is advised that because of the particular layout and special interest of this Grade II listed building, it is not considered suitable for a lift. The proposals to reverse unsympathetic works to the stairs would probably be acceptable if applied for separately and would likely be welcomed.

On 22 January 2021 listed building consent was refused by Committee for a similar scheme to the September 2020 delegated refusal, with revisions to the design of the proposed lift (RN: 20/04173/LBC).

The application was refused for the following reason:

Because of its location and design, the proposed lift and associated works would harm the plan form, fabric and special interest of this grade II listed building. This would be against the advice set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and 10 of our Unitary Development Plan that we adopted in January 2007 and the advice set out in paragraph 2.4 of our 'Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings'.

7. THE PROPOSAL

It is proposed to install a new passenger lift which would rise from lower ground floor to second floor, along with the reinstatement of currently missing sections of the historic cantilevered stone staircase at ground and second floor levels, including the reinstatement of the original second floor landing layout. The applicant proposes that the lift be temporary or even personal for the duration of their occupancy of the house.

The lift would have a pneumatic lift pit at lower ground floor within an existing cupboard. An opening in the ground floor structure for the lift to pass through. The lift shaft would then rise free-standing through the open stairwell, with landings set at first and second floors. At first floor the lift would require the removal of a section of existing balustrade in order to connect with the first floor landing. The lift would terminate beneath the decorative ceiling of the second floor.

8. DETAILED CONSIDERATIONS

Key legislation, policy and guidance

The key legislative requirements in respect to designated heritage assets are as follows:

Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that:

“In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

Furthermore Chapters 12 and 16 of the NPPF require great weight be placed on design

quality and the preservation of designated heritage assets. Chapter 16 of the NPPF clarifies that harmful proposals should only be approved where the harm caused would be clearly outweighed by the public benefits of the scheme, taking into account the statutory duty to have special regard. This should also take into account the relative significance of the affected asset and the severity of the harm caused.

Policy 39 (Heritage) of the City Plan provides further framework for considering the application of the statutory duty, and reiterates that listed buildings should be preserved, whilst also allowing them to adapt to changing needs. The policy also encourages the appropriate restoration of original or significant detail.

The architectural and historic significance of the listed building

No. 15 Wimpole Street is a grade 2 listed building in the Harley Street Conservation Area. It is a relatively rare house, dating from the 1760's, a period of relatively low rate of development. The unusual 'L' shaped plan form of the interior is of significance, especially at ground and first floor levels. There are significant elements of original historic fabric internally too which are important, including the stone staircase.

The staircase is a grand cantilevered stone open-well stair which sweeps up from the ground floor to second floor, providing a formal vertical access from the entrance to the principal reception rooms on the first floor. The large vertical spatial character of the stairwell with the staircase and landings enclosing it is a key element of significance of the building's interior.

The applicant's historic building report states:

Despite its irregularities, the building is of high significance as a surviving mid-18th century townhouse and as part of the original development of the Howard De Walden Estate, which was one of the primary estates of London.

Of the primary significance and particularly sensitive to change are:

- The front elevation, not including the 1898 fourth floor mansard, central downpipes and late-19th century sash windows;
- The original plan form which survives largely intact at basement, ground and first floor level;
- The original mid-18th century fittings including the stone-cantilevered staircase, marble chimneypieces at ground, first and second floor and the original joinery comprising of decorative architraves.

Background to the current application

In 2017 the applicant sought pre-application advice with respect to the installation of a lift. Officers visited the building and considered three options for the location of a lift shaft. These were:

1. Installing the lift on the south party wall in the front room. The lift shaft would project beyond the face of the chimney stack. It would also involve removal of

historic fabric, including parts of the ceiling and cornice. This would have an intrusive, harmful impact on the plan form and fabric of the principal room.

2. Installing the lift shaft externally, between the window openings on the rear facade. It would not serve the first floor level or second floor level. This would harm the appearance of the rear facade of the building, which is relatively unaltered, and, again, harm its plan form.
3. Installing the lift within the open well of the staircase. This is the approach taken in the two recent listed building consent applications, including this application under consideration.

Officers concluded that all of these options would be harmful to the special interest of the listed building in one way or another.

In 2020 two applications were submitted for a lift shaft within the stairwell. One of these applications, with the lift shaft clad with a mirror-finish, was refused under delegated powers. The second, proposed to be clad with a bronze mesh, was refused by Committee on 19th January 2021 (decision issued 22nd January).

Whilst the lift was considered to have a visual impact on the spatial character of the stairwell, the opening in the ground floor structure, and the apparent cutting of the first floor balustrade were the focus of the January refusal, with officers advising in the report and verbally that the works would be permanently harmful.

The applicant has now submitted greater detail about the existing ground floor structure and first floor balustrade, and also about how they propose to install the lift and alter the staircase, which demonstrate that the works to implement these changes should be reversible, were the lift to be removed in the future.

The applicant states that lift access to the upper floors is required by the occupier for medical reasons. Although they have submitted some information from their Doctor about these reasons, they understandably do not wish for it to be made public and so it cannot be included in this report.

The application proposals

The proposal involves the installation of an independent, self-supporting lift in the stairwell, which does not rely on support from the upper floor plates. This would be founded at lower-ground floor level by a pneumatic lift pit excavated within the existing cupboard at this level, the door to which would become the door to the new lift. The site is not within an Area of Archaeological Priority, and as such it is not expected to be necessary to monitor the minor excavation required for this pit.

The lift would then rise through a new aperture formed in the ground floor structure, from where the free-standing lift shaft would rise up through the open stairwell to second floor level. This work to form an opening through the ground floor would involve the removal of limited sections of modern floor boards and floor joists, and modern ceiling at lower ground floor. The removed joists would be stored on-site for future reinstatement.

This new application provides greater information on this over the previous application, stating that the floor is built of timber joists supporting modern floorboards at ground floor, and a modern plasterboard ceiling at lower ground floor.

Also at ground floor level, the existing modern arrangement of the staircase which leads up from the lower-ground floor would be altered to return it to its historic form, closing off the existing arched opening in the panelling, and removing the understair WC. The entrance hall is then proposed to be laid with a new stone floor, replacing the existing modern timber covering. Details submitted during the course of the application show that this new stone floor can be accommodated without harmful abutments with adjacent features such as door architraves, skirtings or the base of the stone staircase.

At second floor, the landing would be opened up and the modern bathroom partitions removed, to reinstate the historic stairwell and landing layout at this level, forming a new landing similar in layout to the first floor; this landing was altered to its current closed form as part of its postwar conversion to an office. The new balustrade at this level would feature a similar access to the lift as at first floor. The shaft would terminate below the second floor ceiling, which would remain intact.

The work to reinstate the historic stair layouts at both ground and second floors would replace the existing modern timber sections of stair in these locations with new cantilevered stone treads, so reinstating the full length of stone staircase from lower ground to second floor.

The new lift shaft would be a lightweight steel structure enclosed by a bronze-finished mesh. Architecturally it is designed to reflect similar free-standing lifts seen in historic stairwells in some historic buildings in the city.

Impacts on significance

The application proposals present a challenging balance of both positive and negative impacts, which should be overall weighed up to reach a conclusion about the overall effect on the significance of the listed building.

Visual impact

The proposed lift would be a large and visually dominant new addition to the stairwell, and would compromise the visual and spatial character of the stairwell as a vertical connection route through the building, just as the entrance hall and corridor is a horizontal connection from the front door to the rear Principal room.

However, the design of the lift is considered to be of a very high quality, and is limited in size. It would stand clear of the staircase throughout its height, including at landings.

The applicant is correct to point out that historic open stairwells do quite often feature metal-mesh clad lift shafts, often dating from the early 20th century, with many in fact becoming historically significant in their own right. These however are more generally associated with notably larger dwellings or institutional buildings, and are often set within secondary stairwells.

Ground floor opening

The opening in the floor at ground floor would involve the removal of a number of existing floor joists, some, none or all of which may be historic. The applicant has not, as of publication, carried out any opening up of the floor void to investigate the age and arrangement of these joists. However their Heritage Consultant has made what is considered by officers to be a sound assessment of the likely layout of joists, based on typical floor structures of this period, and also about the extent of postwar work to this part of the building which may well have led to the substantial replacement of joists in this particular part of the entrance hall (due to the works to build the stub-staircase down to the lower ground floor).

We do know that the floorboards and lower ground floor ceiling coverings are modern, and therefore the maximum extent of historic fabric impact from this opening is estimated to be the removal of four or five joists, some or all of which could be historic or equally could be modern. This causes some degree of harm to the architectural and historic significance of the listed building. The joists are proposed to be removed whole so that they can be reinstated without permanent harm, were the lift to be removed in future. The joists would be stored on-site so that they can be reinstated in future.

First floor balustrade

On the first floor landing the straight section of the historic handrail and the balusters would be removed, and replaced by shorter new sections, to provide access to the lift at that level. This was one of the focusses of the previous refusal, with officers advising that the handrail may be made of long continuous hardwood sections, so requiring permanent cuts to be made which could not be rectified in future. This has now been demonstrated by the applicant to not be the case.

The new detail submitted with this current application demonstrates that the handrail is made up of relatively short sections, with two cuts quite fortunately placed at each end of the straight landing section which would be the subject of the new opening to the lift. This means that this whole section can be removed in one, on the existing cut-lines in the handrail, with new shorter sections joined onto the same joints. This means that the handrail does not need to be irreversibly cut, and could theoretically be respectfully reinstated were the lift to be removed in the future. The removed historic sections of the handrail and balusters would be stored on-site.

This balustrade alteration would continue to represent a visual break in the architectural continuity of the balustrade, but would not represent a physical element of damage. Both of these points of harm could be theoretically reversed in future.

Reinstatement of missing sections of stone staircase

The applicant's commitment to the reinstatement of the two missing sections of stone staircase, at ground floor and second floor, would be a considerable heritage benefit.

The applicant has provided good detail, including direct advice from structural and masonry experts specialised in cantilevered stone staircases, to provide good reassurances that this can be done without compromising the integrity of the

surrounding historic fabric.

Enhanced layout of staircase at ground and second floors

Related to the reinstatement of the missing sections of staircase, the correction of the layout of the staircase and landing at ground floor and second floor is also considered to be a very welcome heritage benefit. At second floor in particular, the reinstatement of the open well enables an enhancement to the vertical spatial character of the stairwell.

New stone floor to ground floor entrance hall

The applicant's new proposal to replace the existing modern timber floor covering to the ground floor entrance hall is considered to be a positive enhancement of the architectural character of this important space.

The information submitted in support of this proposal is considered to be sound and, subject to an agreement of the specification of the new stone, should be entirely deliverable.

Balance between heritage harm and heritage benefits

From the above it is clear that there are both elements of harm and benefit which would accompany the application proposals. This must be considered carefully in terms of where the balance lies, to produce an overall conclusion of whether the works, overall, would harm or preserve (or even better reveal) the significance of the listed building.

In some respects these harms and benefits remain unchanged from the previously refused application – with the exception of the stone floor, the proposals are the same, and the additional supporting information and detailed drawings might be said to have simply provided greater reassurances rather than actually reducing the elements of harm caused. However, the effect of this additional information is significant, and gives good assurances that the permanent, non-reversible harm that might be caused here is in fact quite limited.

However, for the duration of the lift's occupancy of the stairwell it would dominate the space, and the joists and first floor handrail would be missing. These impacts can all be reversed without permanent harm. Some element of caution is reasonable in relation to whether the future removal of the lift is in fact likely, given the expected generational passage of time, but if that were to occur and this can be secured by condition, the balance between benefit and harm would be categorically beneficial overall – the staircase and landing reinstatements, and the stone floor to the ground floor would remain and would be objectively beneficial.

Opinions on where the balance lies will vary, but it is accepted that, even in its temporary form, the balance is close. The benefits of the staircase and landing reinstatements are significant, whilst the harm caused by the sight of the lift shaft, and the temporary removals of fabric are moderate. It would therefore be entirely reasonable to consider the balance to be satisfactory – that in effect overall the proposals preserve the significance of the listed building. Even if overall the balance tips towards harmful, as is the officer conclusion, it is slight, and can be more than adequately recovered in future

were this to remain considered appropriate.

As such, the proposal is considered acceptable, mindful of Policy 39 of the City Plan and therefore, a recommendation to grant conditional listed building consent would be compliant with the requirements of the NPPF and the statutory duties of the Planning (Listed Buildings and Conservation Areas) Act 1990.

8.1 Access and Public Sector Equalities Duty

The applicant's primary motivation for the application proposals is their continued use of the main four floors of the house despite their limited mobility. Their current submission provides an extensive analysis of the relationship between the statutory listed building requirements of Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990, and the duty on local authorities to pay due regard under the Equalities Act 2010. This is correct that the Committee must consider its duty under the latter and officers have had due regard to the applicant's disability in assessing this application, however there is nothing either in law, policy or guidance to state that one matter is more important than the other – it will be a matter of planning judgement in each case and a balancing exercise must be undertaken. Historic England's 2015 guidance "Easy Access to Historic Buildings" clearly states that the Equality Act does not override other legislation such as listed building or planning legislation, and the need to obtain appropriate approvals still applies in the case of changes made to improve access.

The Equalities Act provides a considerable duty on the council to consider the provision of equal access to all buildings. The City Council is required to weigh this against the 'special regard' and 'great weight' required to be given to the preservation of the listed building by the Listed Buildings Act and the NPPF respectively. Paragraph 202 of the NPPF makes it clear that, if less than substantial harm is found, that this be weighed against the public benefits of the scheme, including securing its optimum viable use (in this case as a dwelling).

Being a private dwelling, the benefit here however remains a primarily personal one; it is a not publicly accessible building, and the building's continued optimum use as a dwelling is in little doubt. Were this a public or commercial building the provision of a lift would be considered more easily to be a public benefit in accordance with the NPPF. Historic England's guidance on equal access to the historic environment is heavily focussed on access to public buildings and the reasonable adjustments that service providers should make for disabled people . .

Given the recommendation above that there is overall only a very slight or no harm caused to the listed building's significance, this issue becomes less pertinent than it had been with the previous application in light of the new information provided with this application as regards the temporary nature of the impacts to the listed building. It is a matter of planning judgement and for the committee to balance the overall harm and benefits of the scheme.

8.2 Westminster City Plan

The City Plan 2019-2040 was adopted at Full Council on 21 April 2021. The policies in the City Plan 2019-2040 are consistent with national policy as set out in the National Planning Policy Framework (NPPF) (July 2021) and should be afforded full weight in accordance with paragraph 219 of the NPPF. Therefore, in accordance with s.38 of the Planning and Compulsory Purchase Act 2004, it comprises the development plan for Westminster in combination with the London Plan adopted in March 2021 and, where relevant, neighbourhood plans covering specific parts of the city (see further details in Section 8.9). As set out in s.38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 49 of the NPPF, the application must be determined in accordance with the development plan, unless material considerations indicate otherwise.

8.3 Neighbourhood Plans

There is no Neighbourhood Plan for this part of the City.

8.4 London Plan

This application raises no strategic issues.

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER: MARK HOLLINGTON BY EMAIL AT mhollington2@westminster.gov.uk.

9. KEY DRAWINGS

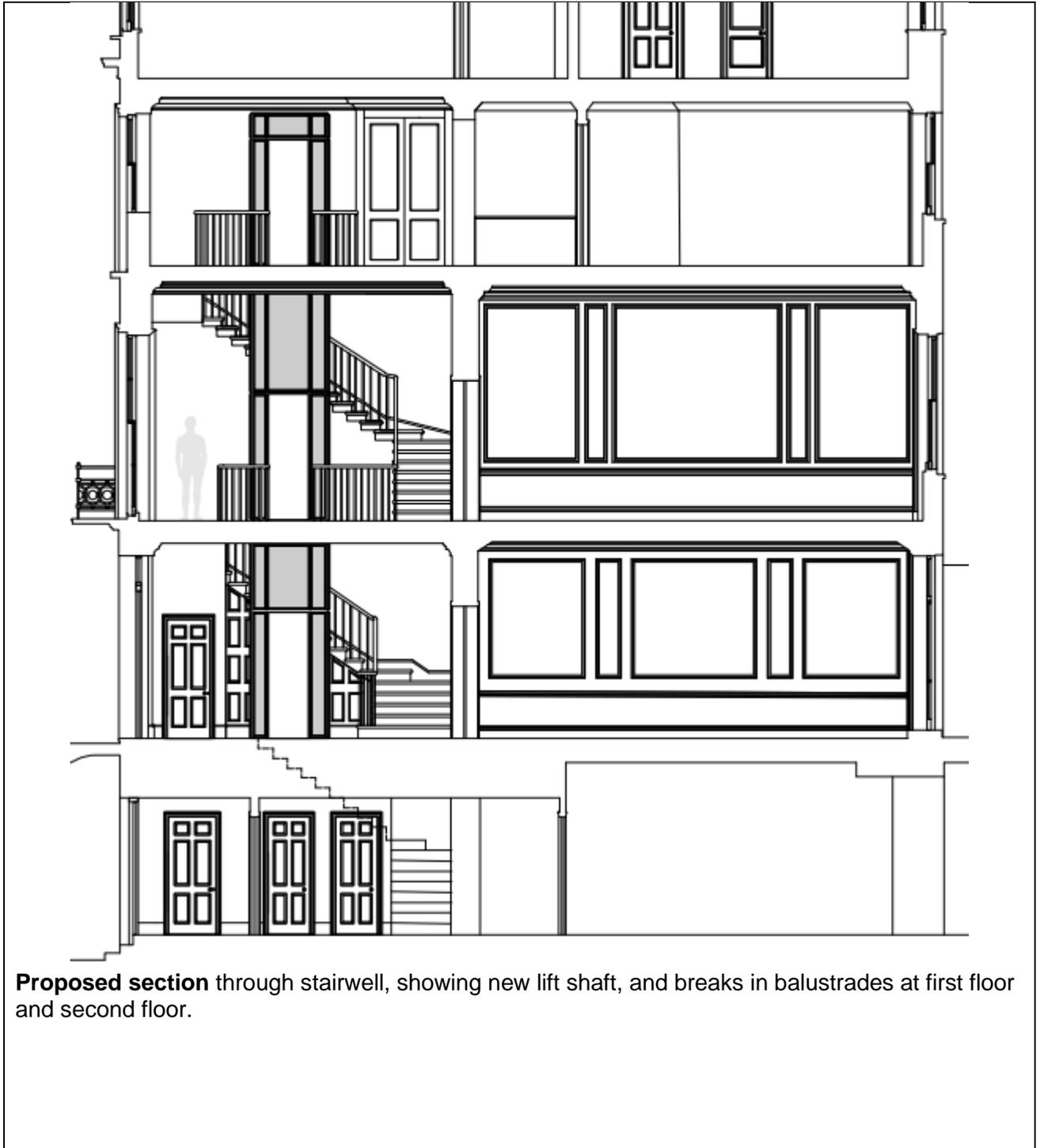


Above: Existing ground floor plan, showing in red modern stair treads to be removed.

Below: Proposed ground floor plan showing lift and reinstated historic layout of stairs to lower ground floor



Existing section through building, showing open stairwell, and existing modern arrangements at ground to lower ground, and at second floor.



DRAFT DECISION LETTER

- Address:** 15 Wimpole Street, London, W1G 9SU
- Proposal:** Reinstatement of stairs and stone floor landings on ground and first floor and installation of a lift in the stairwell.
- Reference:** 21/02967/LBC
- Plan Nos:** Location plan; Analysis of stairs 15WS-A01 to A11; Existing plans 15WS-E099-revA to E102-revA; Existing section 15WS-ES01; Proposed stairs reinstatement 15WS-N099 to N102; Proposed lift placement 15WS-P099-revA to P102-revA; Proposed section 15WS-PS01-rev1; Proposed lift detailed plan 15WS-PD01-revA; Proposed lift visual 15WS, Floor reinstatement 15WS-R1 to R2; Analysis of existing handrail 15WS-L100 to L102 and Photos pages 1 to 8; Handrail reinstatement 15WS-L101, LS101, LP101, LR101, LH101; Existing joists 15WS-EH100e, Proposed joists 15WS-EH100p; Skirting details 15WS-DT01; Door threshold details 15WS-DT02; Stone step details 15WS-DT03; Location floor plans (proposed) 15WS-P00; Proposed elevations 15WS-ELV-01; Reinstated elevations 15WS-ELV-02; Proposed sections 15WS-SE-01; Lift / floor junction detail 15WS-DT04; Document entitled, "Lift shaft structure" ref. 1315 R01 210927 Rev.R01 (RW Structures, 27.09.2021), Document entitled, "Proposed Method Statement for Reinstatement of Cantilever Stone Stair" ref. 1315 R01 210927 Rev.02 (RW Structures, 27.09.2021); Letter from P.Bidaud of the StoneMasonry Company Limited, dated 27.09.2021; Letter from EMCH Elevators Ltd dated 28.09.2021.

Case Officer: Andrew Barber

Direct Tel. No. 07866 037397

Recommended Condition(s) and Reason(s)

- 1 The works hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Within three months of Ms Leontina Ebers permanently vacating or ceasing to live in the property, or no later than fifteen years from the date of this consent, whichever is the earlier:

A. the lift shall be permanently and fully removed from the building, and associated surrounding fabric made-good; and

B. the first floor balustrading and ground floor joists shall be reinstated.

The works to remove / reinstate (as applicable) shall be carried out in accordance with

the approved plans.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in Policy 39 of the City Plan 2019 - 2040 (April 2021) and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BE)

- 3 You must complete the reinstatement of the following heritage benefits, in accordance with the approved plans, before you commence installation of the lift superstructure:
- A. Alteration of layout of lower-ground to ground floor staircase, including installation of new matching stone stair treads; and
 - B. Alteration of layout of second floor staircase and landing, including installation of new matching stone stair treads.

You must complete the laying of the new stone flooring, in accordance with the approved plans, within three months of the completion of the lift superstructure.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in Policy 39 of the City Plan 2019 - 2040 (April 2021) and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BE)

- 4 You must apply to us for approval of further information (as set out below) about the following parts of the works:
- (a). Sample of new stone stair treads, sourced and finished to match existing;
 - (b). Sample of new stone flooring;
 - (c). Samples of the outwardly visible lift-shaft frame, cladding and door materials.
- You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these approved details. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in Policy 39 of the City Plan 2019 - 2040 (April 2021) and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BE)

- 5 All new work and improvements inside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27BA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in Policy 39 of the City Plan 2019 - 2040 (April 2021) and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BE)

- 6 You must not disturb existing ornamental features including chimney pieces, plasterwork, architraves, panelling, doors and staircase balustrades. You must leave them in their present position unless changes are shown on the approved drawings or are required by conditions to this permission. You must protect those features properly during work on site. (C27KA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in Policy 39 of the City Plan 2019 - 2040 (April 2021) and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BE)

- 7 Before you commence the removal of the related fabric, you must submit to us a detailed Conservation Method Statement (CMS) for the temporary removal of each of the following building components:
- (a). First floor handrail and balusters;
 - (b). Ground floor joists.

The submitted CMS should include details of how you will record, tag and store the affected fabric. You must then complete the works in accordance with the approved CMS.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in Policy 39 of the City Plan 2019 - 2040 (April 2021) and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BE)

- 8 Before you commence removal of directly related fabric, you must submit to us for our written approval, photographs and a specialist assessment of the age, significance and arrangement of floor joists affected by the approved ground floor lift shaft opening, along with detailed final drawings of the fabric removal and new works associated with the works. If found to be of significance, the joists should then be securely stored on-site and reinstated in the future in accordance with other conditions imposed on this consent. If found to be of no significance, they may be disposed of.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in Policy 39 of the City Plan 2019 - 2040 (April 2021) and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BE)

Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has

had regard to the relevant policies in the National Planning Policy Framework, the London Plan (March 2021), the City Plan (April 2021), as well as relevant supplementary planning guidance, representations received and all other material considerations. The City Council decided that the proposed works would not harm the special architectural and historic interest of this listed building. In reaching this decision the following were of particular relevance: Policies 38, 39 and 40 of the City Plan 2019 - 2040 adopted in April 2021 and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

- 2 You will need to contact us again if you want to carry out work on the listed building which is not referred to in your plans. This includes:
 - any extra work which is necessary after further assessments of the building's condition;
 - stripping out or structural investigations; and,
 - any work needed to meet the building regulations or other forms of statutory control.Please quote any 'TP' and 'RN' reference numbers shown on this consent when you send us further documents. It is a criminal offence to carry out work on a listed building without our consent. Please remind your client, consultants, contractors and subcontractors of the terms and conditions of this consent. (I59AA)

- 3 You are advised that the works are likely to require building regulations approval. Details in relation to Westminster Building Control services can be found on our website at www.westminster.gov.uk/planning-building-and-environmental-regulations/building-control.

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.